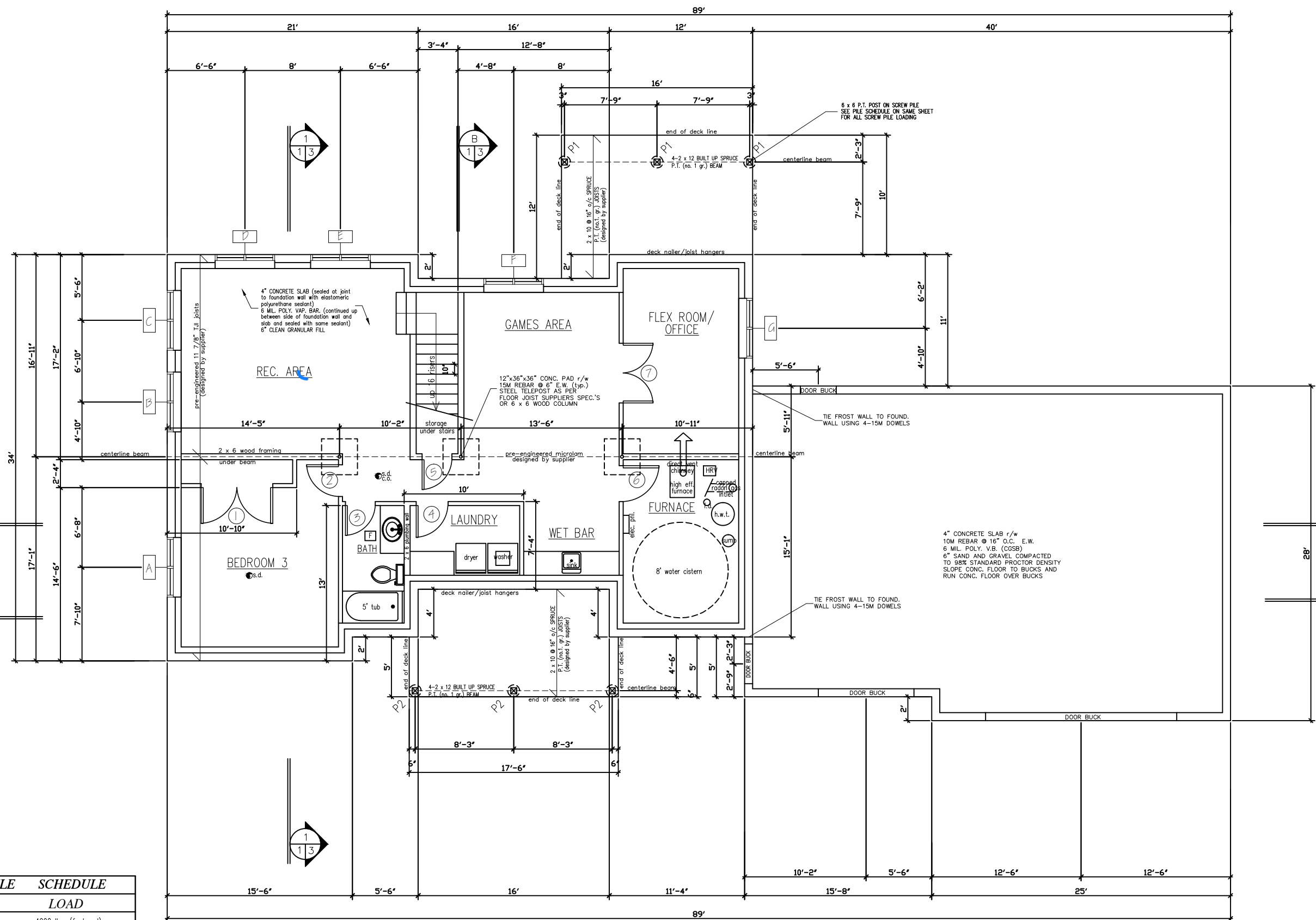


SYMBOL	LOAD
P1	4000 lbs. (factored)
P2	6500 lbs. (factored)

PLEASE NOTE:
 ALL PERFORATIONS THROUGH 6 MIL. POLY. VAP. BARRIER UNDER SLAB TO BE SEALED WITH ELASTOMERIC POLYURETHANE SEALANT



FOUNDATION FLOOR PLAN

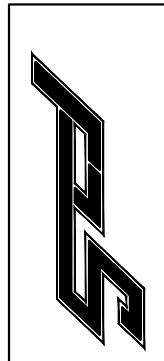
FIVE STAR ENGINEERING
 52207 RR233
 SHERWOOD PARK, AB., CANADA
 T8B 1C5
 TEL: (780) 499 - 9007 4999007@gmail.com

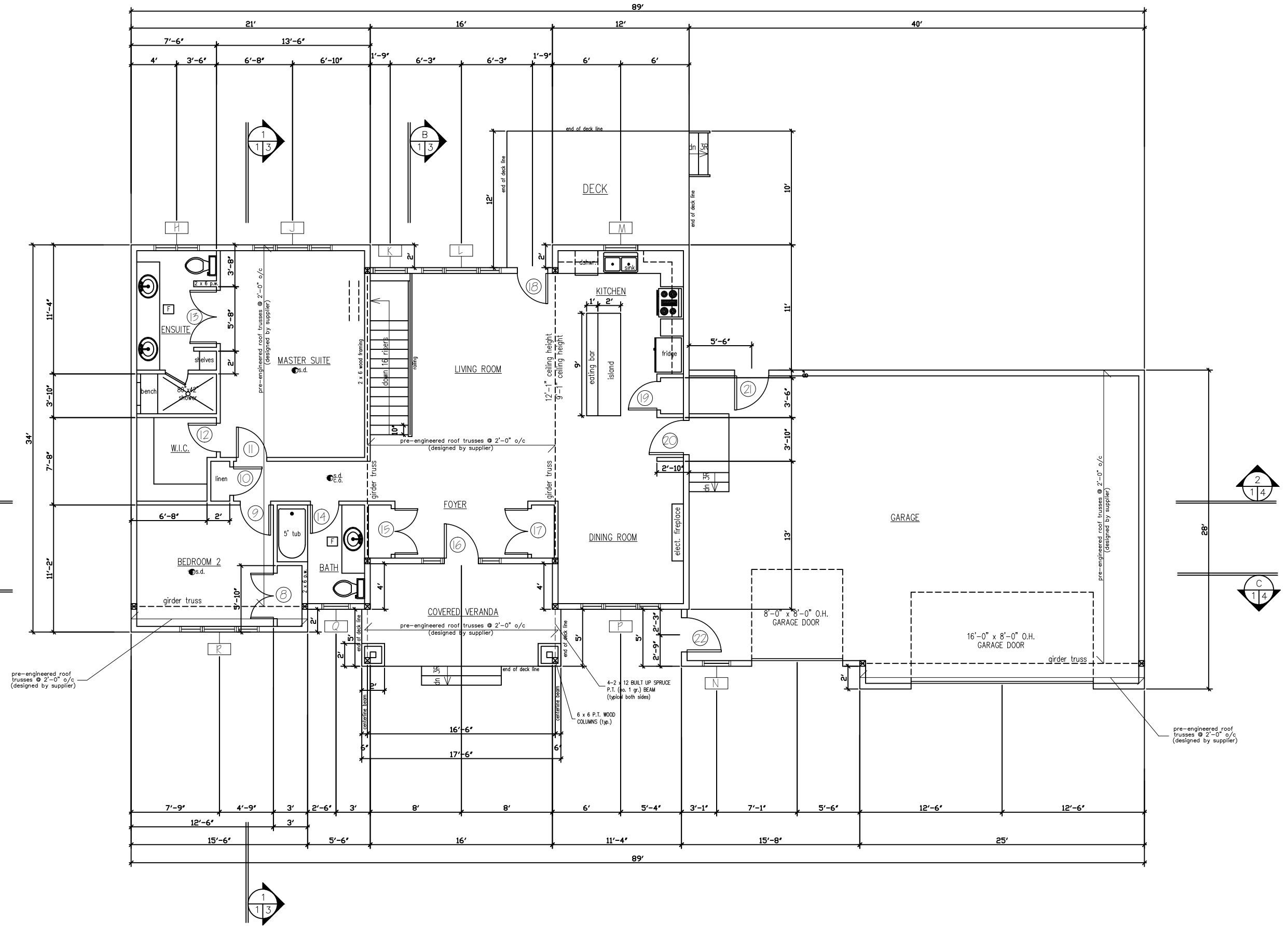
JOB NO.	G.C.
CHKD BY	G.C.
DRN. BY	G.C.
DATE	APRIL 2022
SCALE	1/4" = 1'-0"
DWG. NO.	1 / 8

FOUNDATION FLOOR PLAN

PROJECT: **EXCLUSIVE HOMES**
 MUNICIPALITY BY OWNER/CONTRACTOR
 PROVINCE OF ALBERTA

G. C. DESIGN
 4704-40 Ave. (in project centre, Wet. Coop)
 WETASKIWIN, ALBERTA
 T9A 2B8
 TEL: (780) 352 - 9775
 1 - 877 - CAD PLAN (toll free)





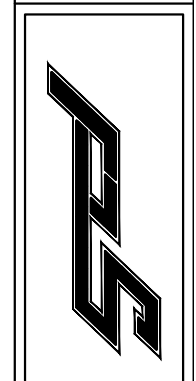
MAIN FLOOR PLAN

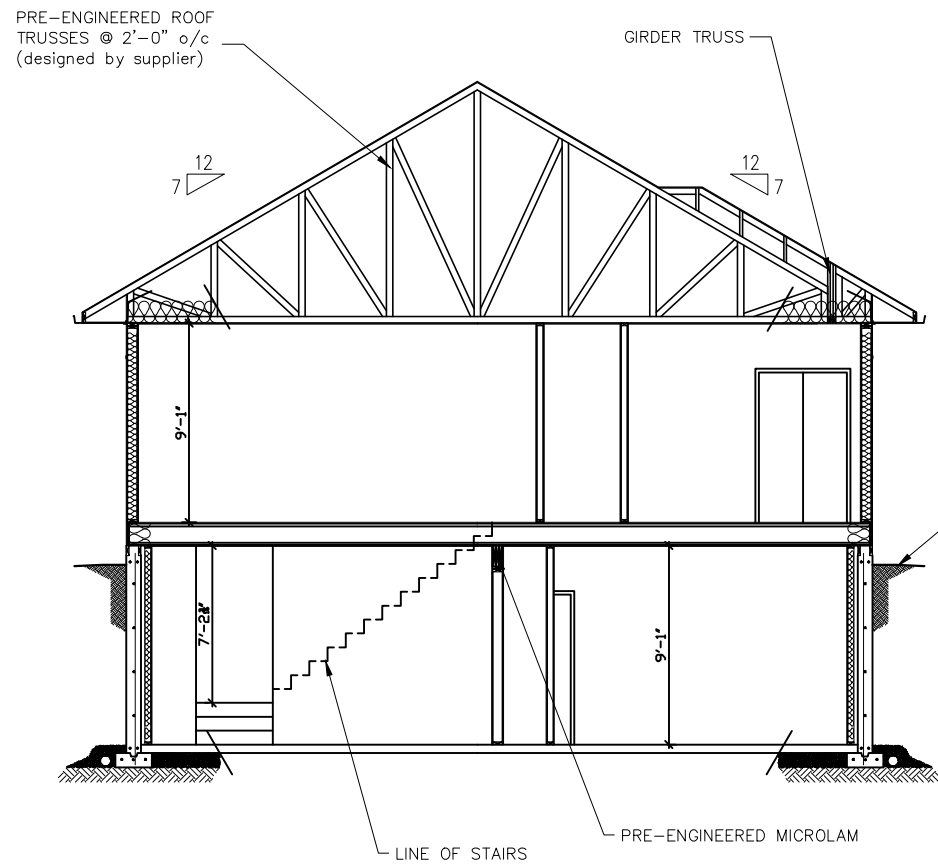
JOB NO.	G.C.
CHKD. BY	G.C.
DRN. BY	G.C.
DATE	APRIL 2022
SCALE	1/4" = 1'-0"
DWG. NO.	2 / 8

MAIN FLOOR PLAN

PROJECT
EXCLUSIVE HOMES
 MUNICIPALITY BY OWNER/CONTRACTOR
 PROVINCE OF ALBERTA

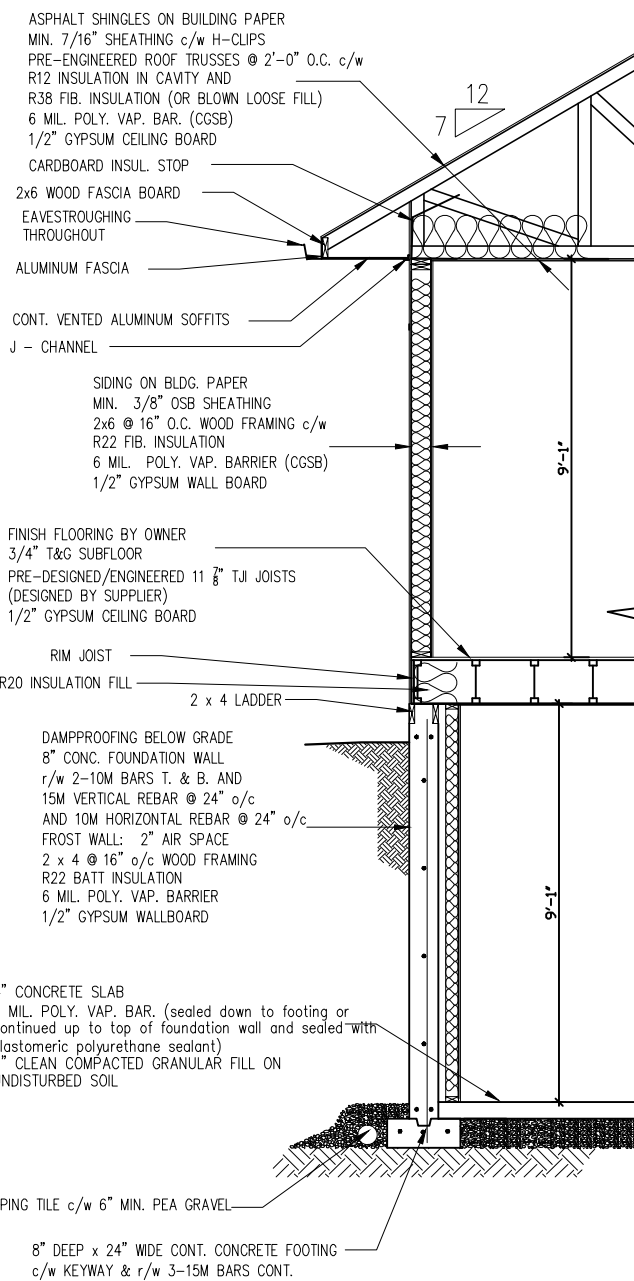
G. C. DESIGN
 4704-40 AVE. (in project centre, Wet. Coop)
 WETASKIWIN, ALBERTA
 T9A 2B8
 TEL: (780) 352-9775
 1-877-CAD PLAN (toll free)





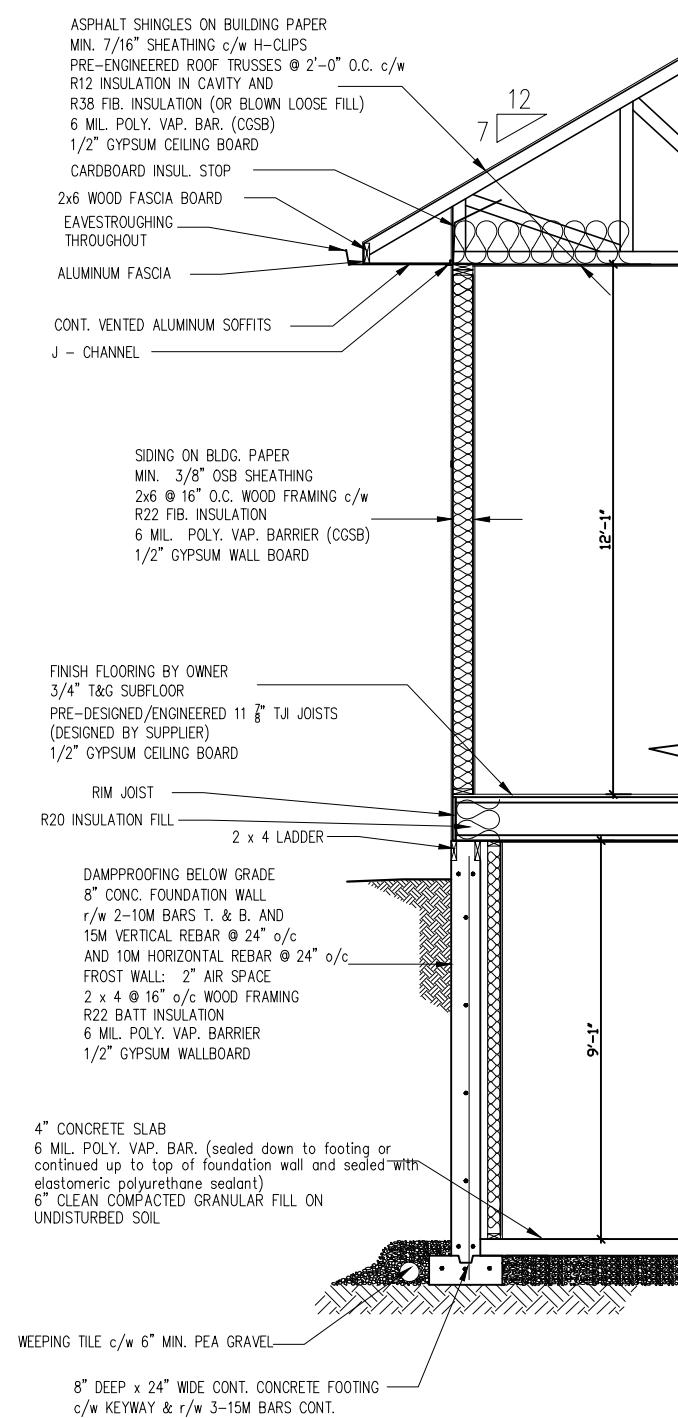
BUILDING SECTION

SCALE: 1/4" = 1'-0"



WALL SECTION

SCALE: 1/2" = 1'-0"



WALL SECTION

SCALE: 1/2" = 1'-0"

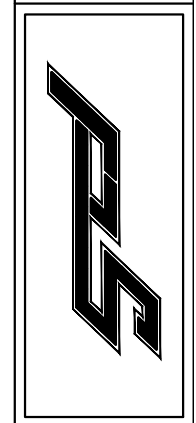


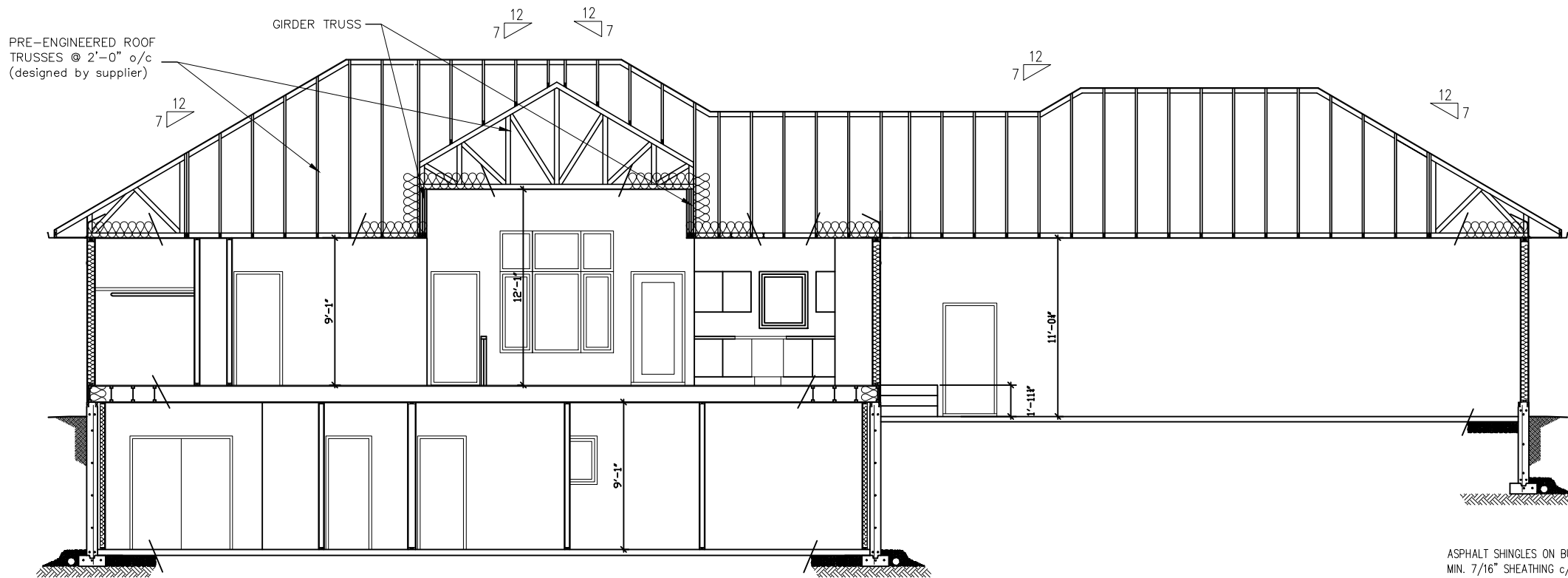
JOB NO.	G.C.
CRD. BY	G.C.
DRN. BY	APRIL 2022
DATE	AS SHOWN
SCALE	DWG. NO.
	3 / 8

WALL & BLDG. SECTIONS

EXCLUSIVE HOMES
MUNICIPALITY BY OWNER/CONTRACTOR
PROVINCE OF ALBERTA

G. C. DESIGN
4704-40 Ave. (in project centre, Wet. Coop)
WETASKIWIN, ALBERTA
T9A 2B8
TEL: (780) 352-9775
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BUILDING SECTION

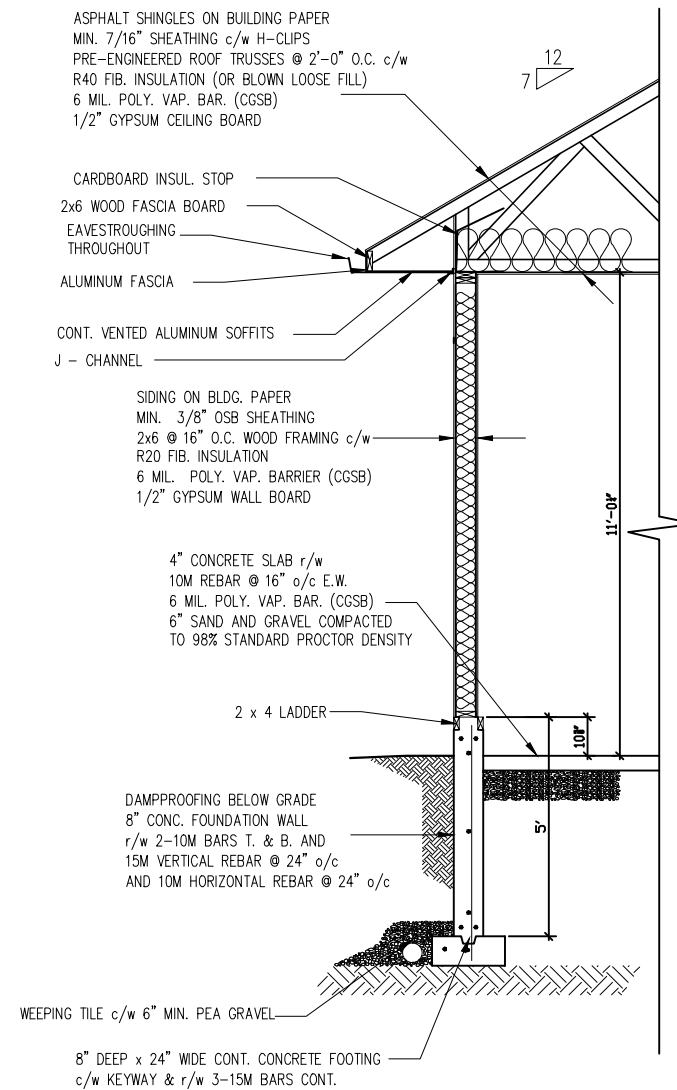
SCALE: 1/4" = 1'-0"



DOOR SCHEDULE						
SYMBOL	SIZE	TYPE	FIN	FRAME	HARDWARE	REMARKS
1	1 3/8" x 6'-0"	...	...	...	...
2,4,9,11	1 3/8" x 2'-8" x 6'-8"	...	...	...	...	LOCK FOR DOOR 11 ONLY
3,5,10,12,14,19	1 3/8" x 2'-8" x 6'-8"	...	...	...	...	LOCK FOR DOORS 3 & 14 ONLY
6	1 3/8" x 3'-0" x 6'-8"	...	...	...	...
7	1 3/8" x 3'-0" x 6'-8"	...	...	...	...
8,15,17	1 3/8" x 3'-0" x 6'-8"	...	...	...	...
13	1 3/8" x 3'-0" x 6'-8"	...	...	...	...
16	1 3/8" x 3'-0" x 6'-8"	...	...	...	...	c/w 2 - 2'-0" WIDE SIDELITES & 2'-6" DEEP TRANSOMS ABOVE
18	1 3/8" x 3'-0" x 6'-8"	...	...	...	...
20,21,22	1 3/8" x 3'-0" x 6'-8"	...	...	...	...	CLOSURE FOR DOOR 20 ONLY

WINDOW SCHEDULE	
SYMBOL	SIZE
A,B,C,D,E,F,G	5'-0"W x 3'-0"D TRIPLE GLAZED CASEMENT OR SLIDER
H	4'-0"W x 3'-6"D TRIPLE GLAZED CASEMENT
J,P,R	3-PANEL - 2 - 2'-0"W x 5'-0"D TRIPLE GLAZED CASEMENT (both sides) 1 - 3'-0"W x 5'-0"D TRIPLE GLAZED SEALED (middle)
K	3'-0"W x 6'-0"D TRIPLE GLAZED SEALED
L	3-PANEL - 2 - 2'-0"W x 5'-0"D TRIPLE GLAZED CASEMENT (both sides) 1 - 3'-0"W x 5'-0"D TRIPLE GLAZED SEALED (middle) c/w 2'-6" DEEP TRANSOMS ABOVE
M	3'-0"W x 3'-6"D TRIPLE GLAZED CASEMENT
N	2'-6"W x 4'-0"D TRIPLE GLAZED CASEMENT
Q	2'-6"W x 3'-6"D TRIPLE GLAZED CASEMENT

PLEASE NOTE: OWNER MAY MAKE CHANGES TO DOOR AND WINDOW STYLES, SIZES, AND TYPES. PLEASE ENSURE THAT OWNER AND CONTRACTOR AND SUPPLIER GO OVER ALL CHANGES PRIOR TO CONSTRUCTION.



WALL SECTION

SCALE: 1/2" = 1'-0"

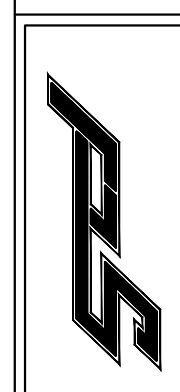


JOB NO. G.C.
 CHD. BY G.C.
 DES. BY G.C.
 DATE APRIL 2022
 SCALE AS SHOWN
 DWG. NO. 4/8

PRAWING
**SECTIONS,
 DOOR & WINDOW
 SCHEDULES**

PROJECT
**EXCLUSIVE
 HOMES**
 MUNICIPALITY BY OWNER/CONTRACTOR
 PROVINCE OF ALBERTA

G. C. DESIGN
 4704-40 Ave. (in project centre, Wet. Coop)
 WETASKIWIN, ALBERTA
 T9A 2B8
 TEL: (780) 352-9775
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RSI VALUES AND INFORMATION

1) ZONE 7A (County by Contractor)
 2) HRV INSTALLED
 3) Percentages Used

	Frame	Cavity
Ceiling with high heel trusses (24" o/c)	7%	93%
Cathedral ceiling (24" o/c)	6%	94%
Typical walls (16" o/c)	23%	77%
Rim joist	9%	91%

CEILING WITH HIGH HEEL TRUSS (C1)

-exterior air film	0.03
-asphalt shingles	0.08
-building paper	0.00
-7/16" OSB (roof no value)	0.00
-2 x 4 bottom chord	
0.0085 x 89.32mm = 0.76	
min. R12	= 2.11
<hr/>	
$\frac{100}{\frac{7}{0.76} + \frac{93}{2.11}}$	= 1.88
-R38 insulation	6.70
-poly vap. barrier	0.00
-gypsum wallboard	0.08
-interior air film	0.12
<hr/>	
TOTAL RSI (minimum required)	8.89 (8.67)

(THEREFORE TOTAL INSUL. TO BE R50)

TYPICAL EXTERIOR WALL ABOVE GRADE (SIDING)

-exterior air film	0.03
-siding	0.11
-building paper	0.00
-3/8 OSB	0.093
-2 x 6 @ 16" o/c	
0.0085 x 140mm = 1.19	
R22	= 3.87
<hr/>	
$\frac{100}{\frac{23}{1.19} + \frac{77}{3.87}}$	= 2.55
-poly vap. barrier	0.00
-gypsum wallboard	0.08
-interior air film	0.12
<hr/>	
TOTAL RSI (minimum required)	2.983 (2.97)

TYPICAL EXTERIOR WALL ABOVE GRADE (STUCCO)

-exterior air film	0.03
-stucco (21mm x 0.0009)	0.02
-building paper	0.00
-3/8 OSB	0.093
-2 x 6 @ 16" o/c	
0.0085 x 140mm = 1.19	
R24	= 4.23
<hr/>	
$\frac{100}{\frac{23}{1.19} + \frac{77}{4.23}}$	= 2.66
-poly vap. barrier	0.00
-gypsum wallboard	0.08
-interior air film	0.12
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TOTAL RSI (minimum required)	3.003 (2.97)

BELOW GRADE FOUNDATION WALL (FW1)

-dampproofing	0.00
-8" concrete foundation wall (204.32mm x 0.0004)	0.08
-2" air cavity	0.18
-2 x 4 @ 24" o/c	
0.0085 x 89.39mm = 0.76	
R22	= 3.87
<hr/>	
$\frac{100}{\frac{13}{0.76} + \frac{87}{3.87}}$	= 2.53
-poly vap. barrier	0.00
-gypsum wallboard (0.0061 x 12.5mm)	0.08
-interior air film	0.12
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TOTAL RSI (minimum required)	2.99 (2.98)

RIM JOIST AREA

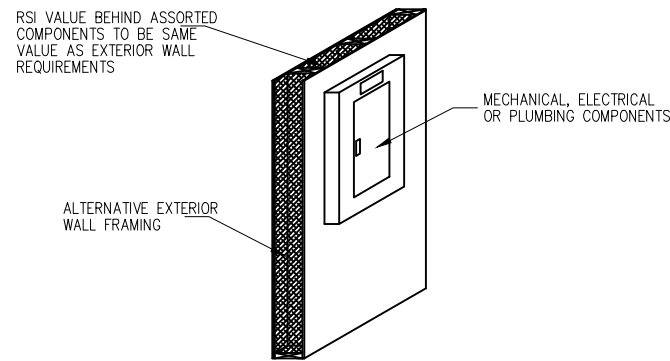
-exterior air film	0.03
-siding	0.11
-building paper	0.00
-3/8 OSB	0.093
-rim joist	0.0098
-11 7/8" joist @ 16" o/c	
11 7/8" joist = 2.58	
R20	= 3.52
<hr/>	
$\frac{100}{\frac{9}{2.58} + \frac{91}{3.52}}$	= 3.51
-poly vap. barrier	0.00
-interior air film	0.12
<hr/>	
TOTAL RSI (minimum required)	3.87 (2.97)

GARAGE (UNCONDITIONED SPACE) RSI ALLOWANCES

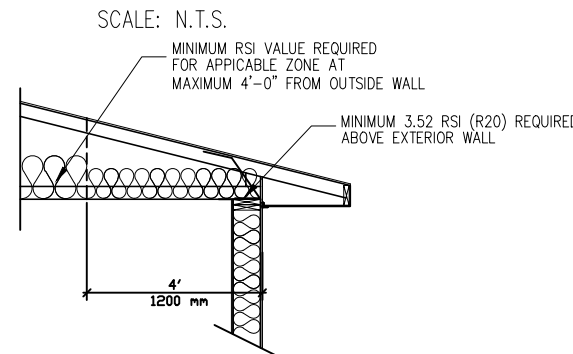
Based on revised code application in reference to STANDATA 14-BCI-011
 Typical roof trusses @ 24" o/c c/w MIN. R34 insulation
 Typical wall 2 x 6 @ 16" o/c wood framing c/w R20 insulation
 Typical under slab - no insulation required

WINDOW, DOORS AND SKYLIGHTS

Doors & Windows	- min. USI-value of 1.60
	- min. Energy Rating of 25
Skylights	- min. USI-value of 2.70
Glass block	- min. USI-value of 2.90
Vehicle access door	- min. RSI-value of 1.1

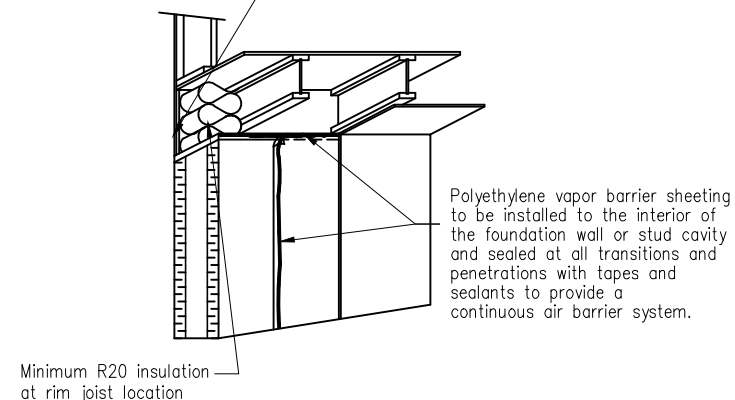


ADJACENT TO EXT. WALL COMPONENTS



ATTIC INSULATION AT OUTSIDE WALLS

SCALE: N.T.S.
 Exterior air barrier systems to be constructed using mechanically fastened or self adhered sheet membranes. If mechanically fastened systems are used then contractor must lap and seal between sheets as well as seal all penetrations and transitions.



AIR BARRIER SYSTEM

SCALE: N.T.S.

GENERAL NOTES

- Polyethylene vapor barrier sheeting to be installed to the interior of the stud cavity and sealed at all transitions and penetrations with tapes and sealants to provide a continuous air barrier system.
- Exterior air barrier systems to be constructed using mechanically fastened or self adhered sheet membranes. If mechanically fastened systems are used then contractor must lap and seal between sheets as well as seal all penetrations and transitions. Ensure that air barrier systems extend into all door, window or skylight areas and seal all joints and junctions between air barrier material in the wall and the window.
- Steel-lined chimneys that penetrate the building envelope must be made airtight by blocking the void between require clearances for metal chimneys and surrounding construction with sheet metal and sealant capable of withstanding high temperatures.
- Plumbing vent stack pipes that penetrate the building envelope must be made airtight by either sealing the air barrier material to the vent stack pipe with a compatible material or sheathing tape, or installing a rubber gasket or prefabricated roof flashing at the penetration of the plane of airtightness and sealing it to the adjacent air barrier.
- The interface between the skylight and wall assembly must be made airtight by sealing all joints and junctions between the air barrier material in the wall and the skylight.
- Bathroom exhaust fans are to be sealed by installing a box or a polyethylene cover which is then sealed to the air barrier around the bathroom fan.
- Seal attic hatches by ensuring the hatch is sized properly so that it has enough contact with the opening ledge and providing a closed cell foam gasket around the perimeter.
- Install boxes around pot lights and seal to air barrier or use spray foam insulation or a shaped polyethylene cover.
- All joints at the transition between the above grade wall and ceiling must be made airtight by sealing all joints and junctions between the structural components with an air barrier material.
- All duct penetrations through building envelopes to have airtight seal.
- Electrical penetrations in walls, including electrical outlets, wiring, switches, recessed light fixtures, etc. through the plane of airtightness must be airtight using proper component and sealing to air barrier or by covering the component with an air barrier material sealed to air barrier.
- HVAC systems and ducts are required to be sized in accordance with "good practice", such as described in the Thermal Environmental Comfort Association reference material, CSA 280 and ABC Code 9:32 and 9:33. As well, transverse and longitudinal joints of duct work must be sealed using approved tape and sealant when outside plane of insulation. Ducts must be insulated to the same level as required for walls if they are outside of the envelope and carry conditioned air.
- Air intake and outlet dampers to be provided for ventilation air intake, clothes dryer vents, combined supply and exhaust ventilators and exhaust and supply fans.

HVAC PERFORMANCE REQUIREMENTS

Space heating

Gas Fired Furnace (less than 220,000 BTU/Hr)	- annual fuel use efficiency must be greater or equal to 92%
Gas Fired Boiler (less than or equal to 300,000 BTU/Hr)	- annual fuel use efficiency must be greater or equal to 90%
Air Cooled Unitary Air Conditioner and Heat Pump Split System (less than or equal to 65,000 BTU/H)	- Seasonal Energy Efficiency Rating of 14.5 and Energy Efficiency Rating of 11.5
Gas Fired Tankless (less than or equal to 300,000 BTU/Hr)	- Energy Factor must be greater or equal to 0.8

Service Water Heating Equipment

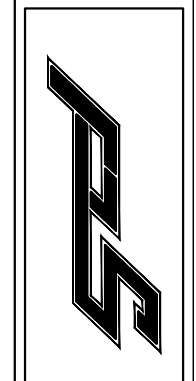
Electric Storage (13-71 Gal.(50-270L))	- Standby loss less than or equal to 35+0.20V (top inlet) 40+0.20V (bottom inlet) V=tank volume (Litres)
Gas Fired Storage (less than 75,000 BTU/Hr)	- Energy Factor must be greater than or equal to 0.67-0.0005V V=tank volume (Litres)
Gas Fired Tankless (less than or equal to 250,000 BTU/Hr)	- Energy Factor must be greater or equal to 0.8

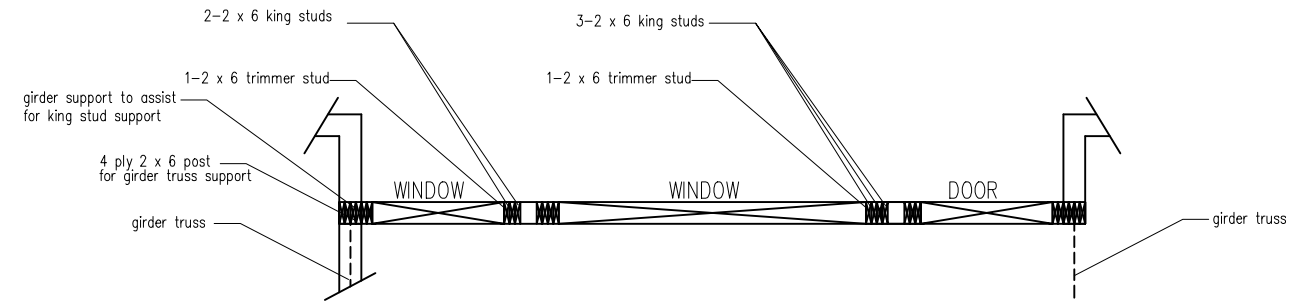
REVIEWED	G.C.
CHKD BY	G.C.
DRN BY	G.C.
DATE	APRIL 2022
SCALE	N.T.S.
DWG. NO	5 / 8

NATIONAL BUILDING CODE
 2019 Alberta Edition
 (Energy Compliance)

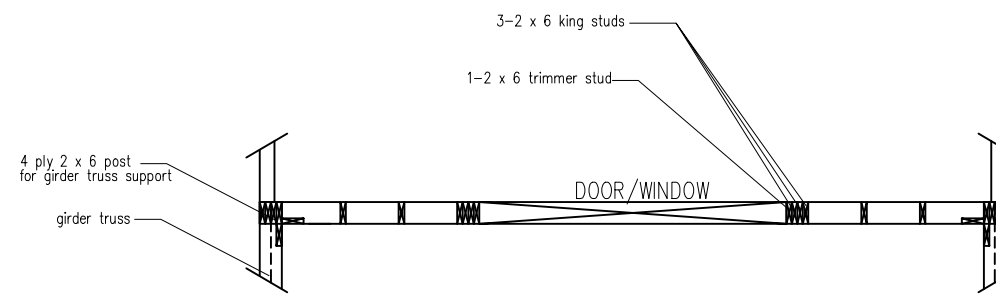
EXCLUSIVE HOMES
 MUNICIPALITY BY OWNER/CONTRACTOR
 PROVINCE OF ALBERTA

G. C. DESIGN
 4704-40 Ave. (in project centre, Wet. Coop)
 WETASKIWIN, ALBERTA
 T9A 2B8
 TEL: (780) 352-9775
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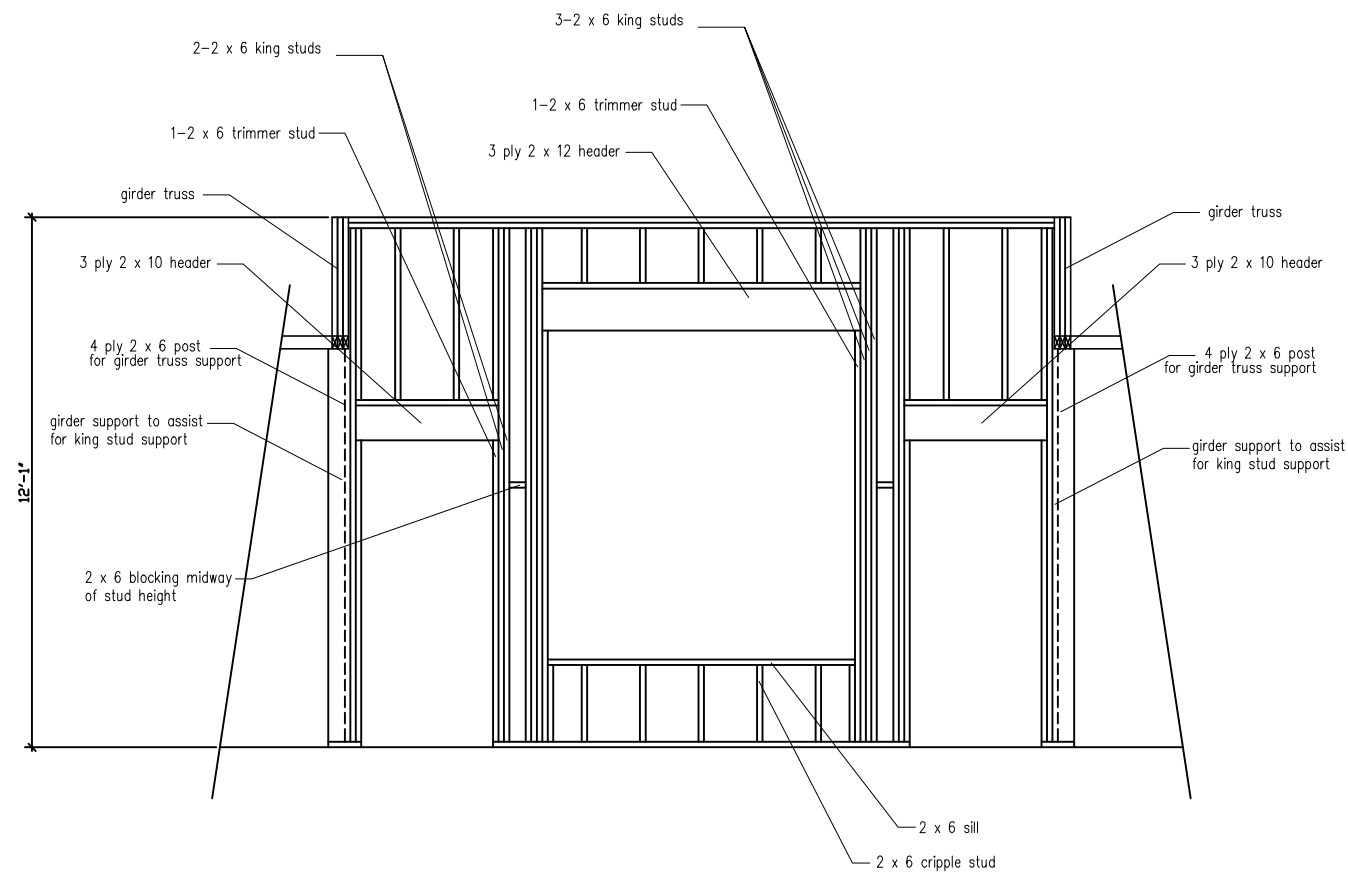




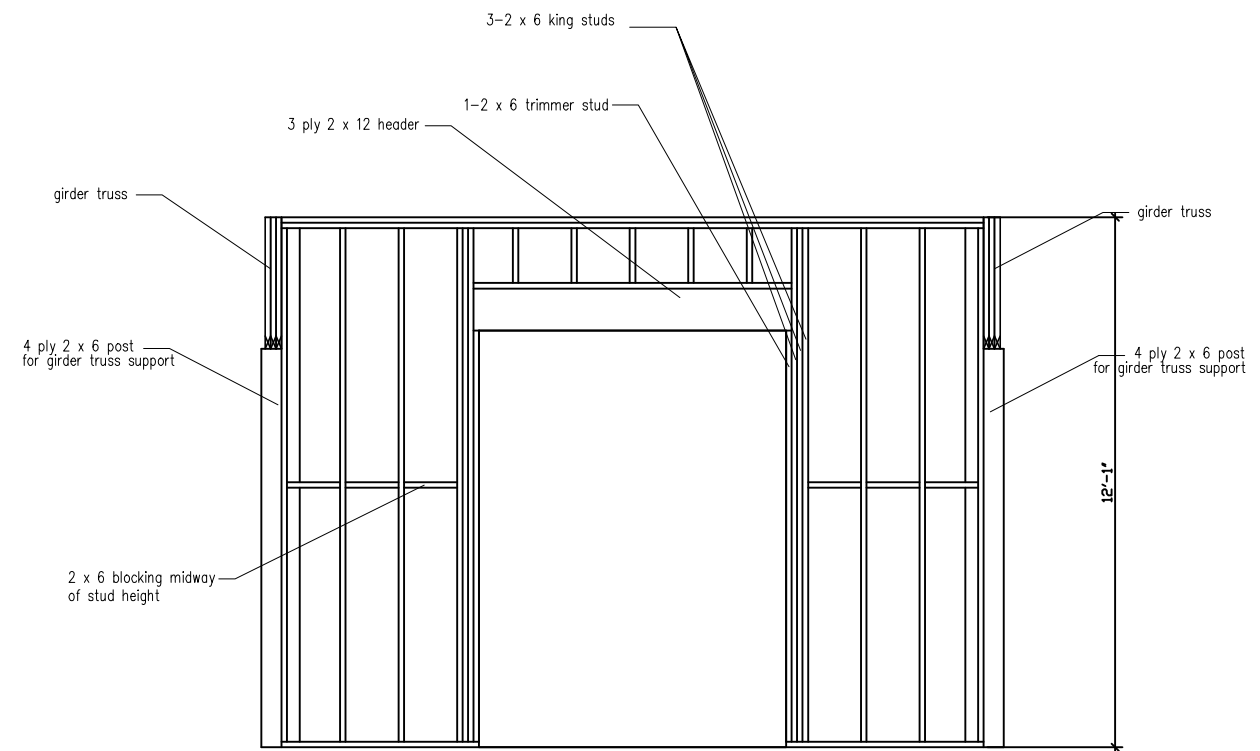
TALL WALL STUD PLAN
(REAR LIVING ROOM WALL)



TALL WALL STUD PLAN
(FRONT ENTRY WALL)
SCALE: 1/2" = 1'-0"



TALL WALL ELEVATION
(REAR LIVING ROOM WALL)
SCALE: 1/2" = 1'-0"



TALL WALL ELEVATION
(FRONT ENTRY WALL)
SCALE: 1/2" = 1'-0"

FIVE STAR ENGINEERING
(PERMIT NO. 14833)
52207 RR233
SHERWOOD PARK, AB., CANADA
T8B 1C5
TEL.: (780) 499 - 9007 4999007@gmail.com

JOB NO.	G.C.
CHKD. BY	G.C.
DRN. BY	G.C.
DATE	APRIL 2022
SCALE	1/2" = 1'-0"
DWG. NO.	6 / 8

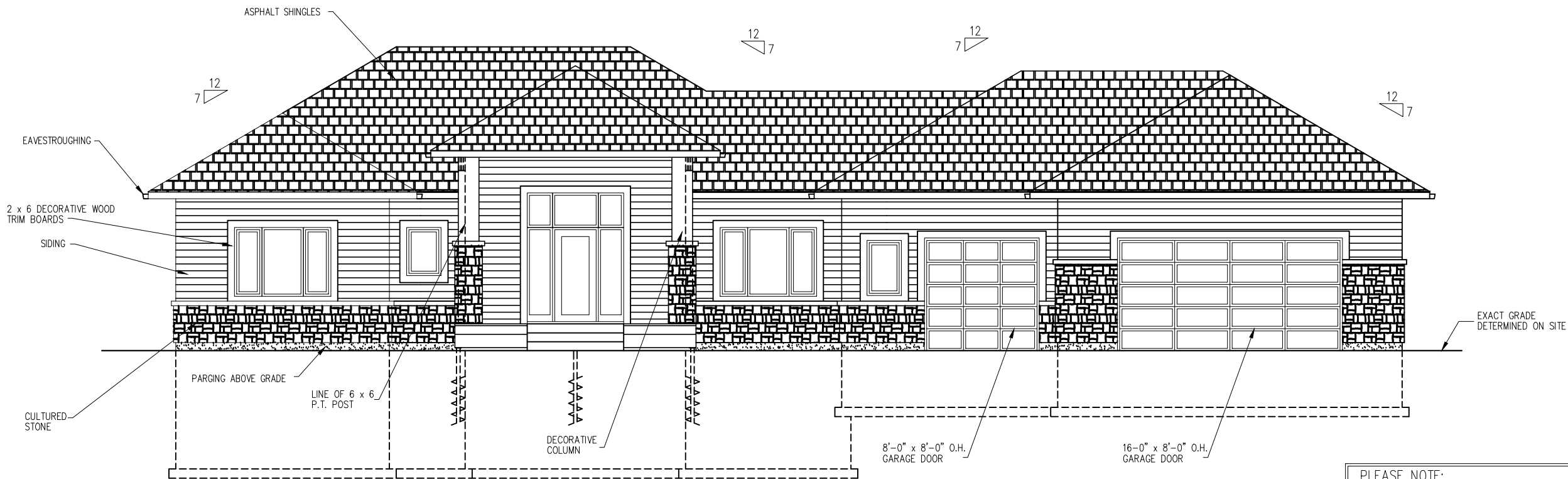
TALL WALL DETAILS

DRAWING

EXCLUSIVE HOMES
MUNICIPALITY BY OWNER/CONTRACTOR
PROVINCE OF ALBERTA

G. C. DESIGN
4704-40 Ave. (in project centre, Wet. Coop)
WETASKIWIN, ALBERTA
T9A 2B8
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FRONT ELEVATION

PLEASE NOTE:
 GRADE HEIGHT MAY BE ALTERED TO BETTER ACCOMMODATE SITE AREA. THIS IS TO BE DETERMINED ON SITE.

ALL ROOF OVERHANGS TO BE 2'-0" UNLESS OTHERWISE NOTED.

IF GRADE TO TOP OF DECK HEIGHT IS GREATER THAN 2'-0", THEN DECK WILL REQUIRE RAILING



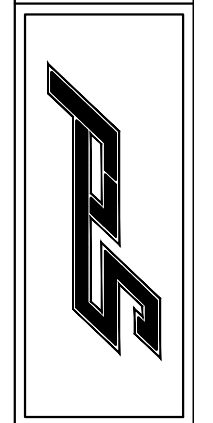
REAR ELEVATION

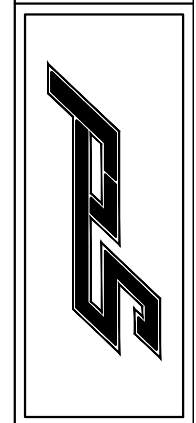
JOB NO.	G.C.
CHKD. BY	G.C.
DATE	APRIL 2022
SCALE	1/4" = 1'-0"
DWG. NO.	7/8

DRAWING
2 ELEVATIONS

PROJECT
EXCLUSIVE HOMES
 MUNICIPALITY BY OWNER/CONTRACTOR
 PROVINCE OF ALBERTA

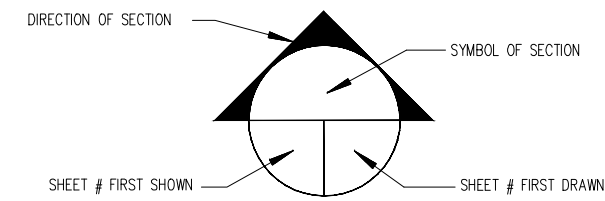
G. C. DESIGN
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 WETASKIWIN, ALBERTA
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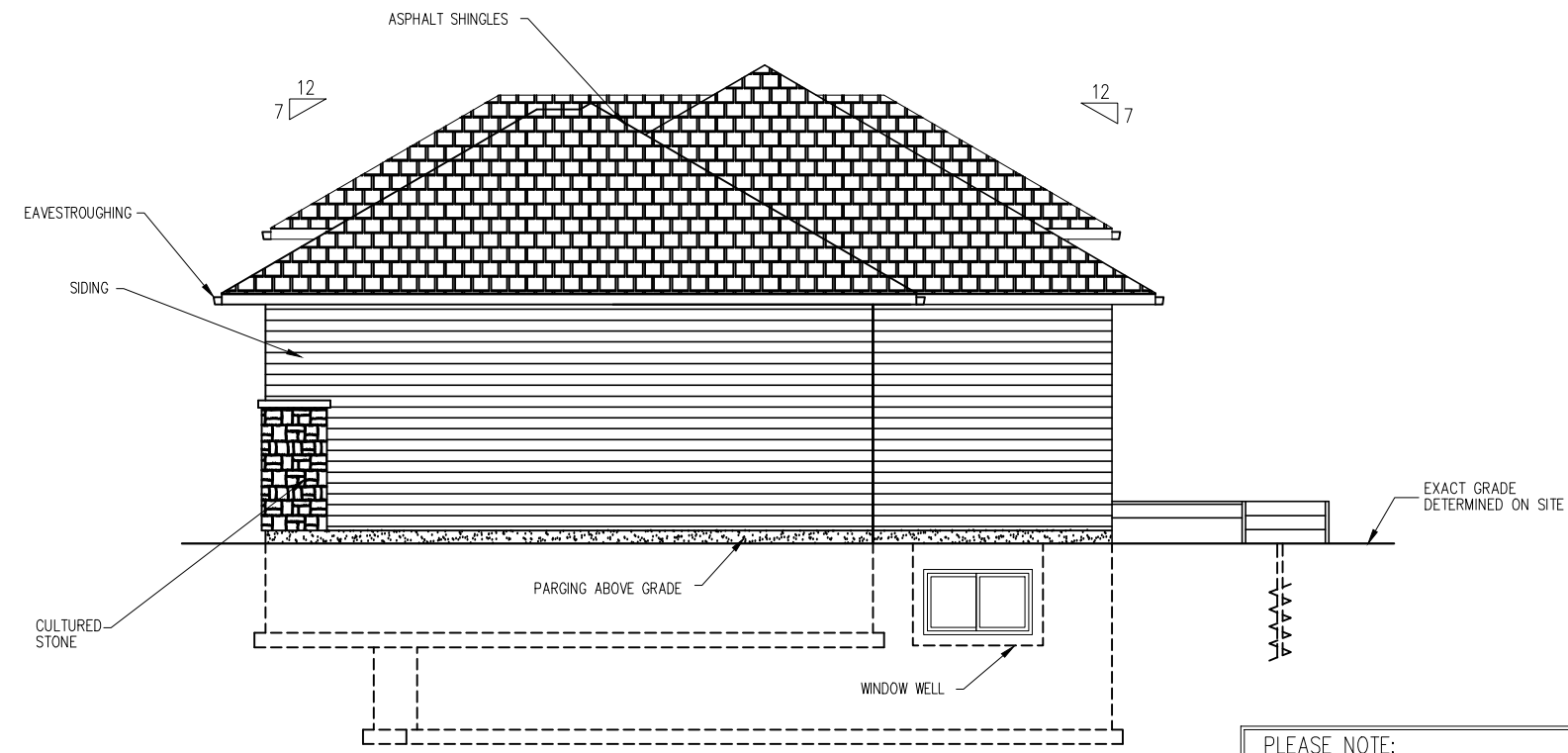
GENERAL NOTES

- 1) ALL STRUCTURAL ELEMENTS TO BE THE RESPONSIBILITY OF THE CONTRACTOR (IE. STRUCTURAL COMPONENTS SUCH AS BEAMS, COLUMNS, PILES, GRADE BEAM, CONCRETE, ETC.). G.C. DESIGN IS NOT RESPONSIBLE FOR ANY STRUCTURAL ELEMENTS OF DESIGN ETC. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT STRUCTURAL DESIGN IS APPROPRIATE AND IF DISCREPANCIES OCCUR, IS RESPONSIBLE TO ENSURE PROPER STRUCTURAL DESIGN CHANGES ARE MADE.
- 2) IF SOIL CONDITIONS ARE FOUND TO BE UNFAVORABLE (IE. UNDERGROUND STREAMS, HIGH WATER TABLES, ETC.), THEN THE CONTRACTOR IS THEREFORE RESPONSIBLE TO MAKE THE APPROPRIATE CHANGES IN STRUCTURAL CAPABILITIES.
- 3) ALL EXT. WALLS TO BE 2x6 WOOD FRAMING (UNLESS SHOWN OTHERWISE)
- 4) ALL INT. WALLS TO BE 2x4 WOOD FRAMING (UNLESS SHOWN OTHERWISE).
- 5) CONSTRUCTION TO MEET STANDARDS OF NATIONAL BUILDING CODE - 2019 ALBERTA EDITION, & AMENDMENTS.
- 6) ELECTRICAL WORK TO MEET THE CANADIAN ELECTRICAL CODE.
- 7) PLUMBING WORK TO MEET THE PROVINCIAL PLUMBING CODE.
- 8) GAS INSTALLATION TO MEET PROVINCIAL GAS INSPECTION.
- 9) EXACT LOCATION OF HOME TO BE IN ACCORDANCE TO GUIDELINES SET OUT BY LOCAL DEVELOPMENT AUTHORITY.
- 10) OWNER & CONTRACTOR TO DISCUSS ALL DETAILS OF CONSTRUCTION AND POSSIBLE CHANGES, PRIOR TO CONSTRUCTION.
- 11) OWNER TO GIVE FINAL SAY ON ALL INT. FINISHES, FIXTURES, APPLIANCES, ETC. TO BE USED.
- 12) OWNER & CONTRACTOR TO DISCUSS ALL WINDOW, DOOR SIZES AND STYLES, SUPPLIER TO SUPPLY ALL ROUGH OPENINGS.
- 13) CONTRACTOR TO SUPPLY DOUBLE, TRIPLE, ETC. JOISTS WHEREVER REQUIRED, AS WELL, IS TO ENSURE THAT STRUCTURAL MEMBERS SUCH AS LINTELS, ETC. ARE PLACED IN AND TO PROPER STRUCTURAL REQUIREMENTS. (INFORMATION TO BE COMPILED FROM BUILDING MATERIALS SUPPLIER AND/OR TRUSS/JOIST DESIGNERS)
- 14) ROOF AND FLOOR DESIGN BY SUPPLIERS, CONTRACTOR TO ENSURE 6x6 WOOD COLUMNS ARE PLACED UNDER ANY GIRDER TRUSSES.
- 15) ALL STRUCTURAL MEMBERS DESIGNED BY SUPPLIERS ARE THE RESPONSIBILITY OF THE SUPPLIERS. SUPPLIERS TO ENSURE PROPER SIZES AND TYPES ARE IN PLACE TO ENSURE APPROPRIATE STRUCTURAL CAPABILITIES.
- 16) SIZE OF HOME : 1503 SQ. FT. - MAIN FLOOR
 SIZE OF GARAGE : 1093 SQ. FT.
- 17) THESE GENERAL NOTES REFER TO ALL SHEETS IN THIS SET OF PLANS.
- 18) CONTRACTOR OR OWNER TO NOTIFY G.C. DESIGN OF ANY CHANGES. IF MODIFICATIONS ARE MADE WITHOUT NOTIFICATIONS, THEN CONTRACTOR TO BE SOLELY RESPONSIBLE FOR ANY COMPLICATIONS THAT MAY OCCUR.
- 19) CONCRETE AS PER ALBERTA BUILDING CODE STANDARDS.
- 20) NEW RADON GAS EMISSION DIVERSION TO BE INSTALLED BY CONTRACTOR BASED ON REQUIREMENTS AND INSTALLATION AS PER ALBERTA BUILDING CODE STANDARDS.
- 21) ENGINEER PROVIDED STAMP IS FOR LOADING OF SCREW PILES AND TALL WALLS ONLY. CONTRACTOR TO CONTACT FIVE STAR ENGINEERING IF INSPECTIONS ARE REQUIRED.



LEGAL DESCRIPTION

provided by owner

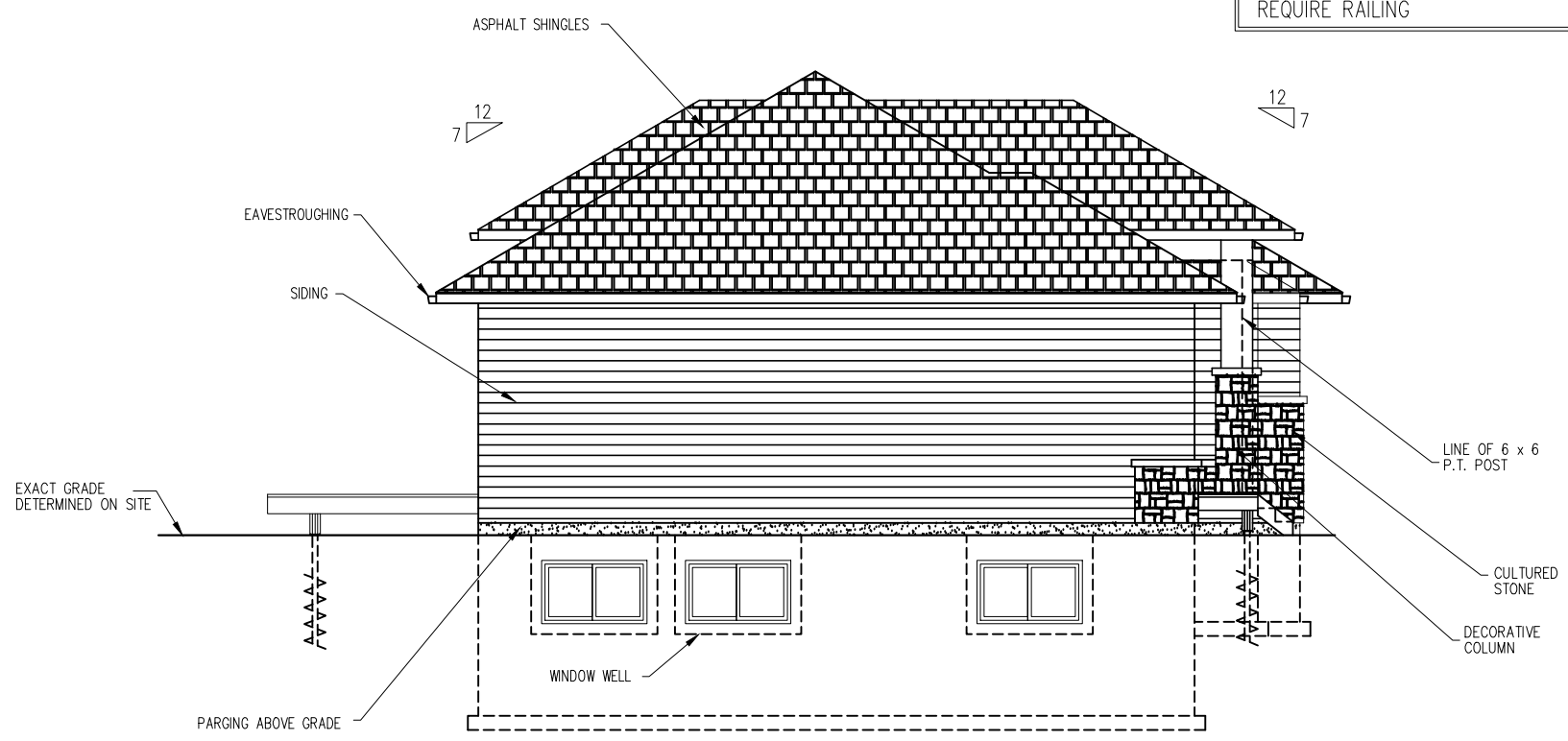


RIGHT ELEVATION

PLEASE NOTE:
 GRADE HEIGHT MAY BE ALTERED TO BETTER ACCOMMODATE SITE AREA. THIS IS TO BE DETERMINED ON SITE.

ALL ROOF OVERHANGS TO BE 2'-0" UNLESS OTHERWISE NOTED.

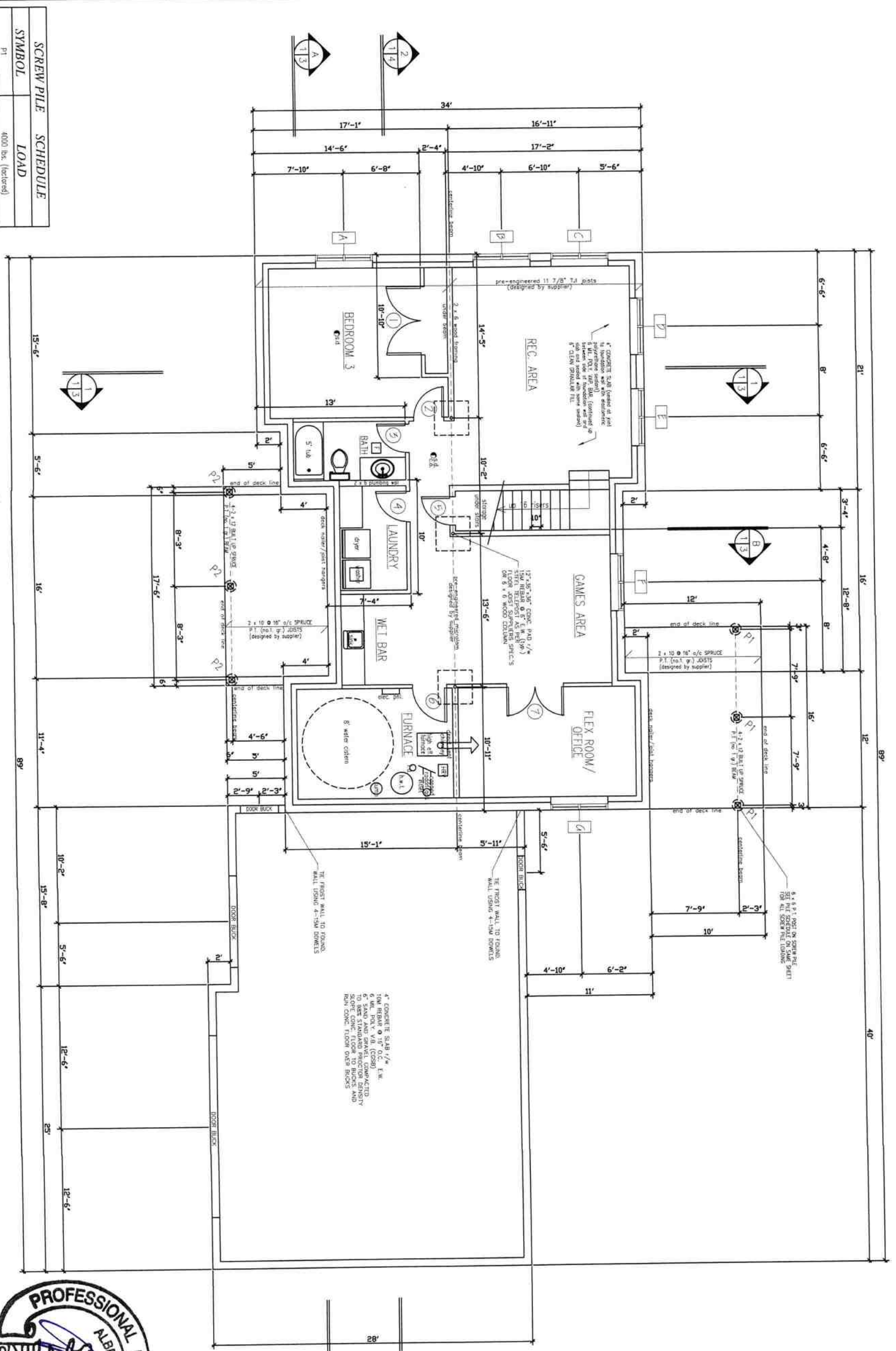
IF GRADE TO TOP OF DECK HEIGHT IS GREATER THAN 2'-0", THEN DECK WILL REQUIRE RAILING



LEFT ELEVATION

SCREW PILE	SCHEDULE
SYMBOL	LOAD
P1	4000 lbs. (factored)
P2	6500 lbs. (factored)

PLEASE NOTE:
 ALL PERFORATIONS THROUGH 6 MIL. POLY. VAP. BARRIER UNDER SLAB TO BE SEALED WITH ELASTOMERIC POLYURETHANE SEALANT!



FOUNDATION FLOOR PLAN



FIVE STAR ENGINEERING (PERMIT NO. 14833)
 52207 RR233
 SHERWOOD PARK, AB., CANADA
 T8B 1C5
 TEL: (780) 499-9007 4999007@gmail.com

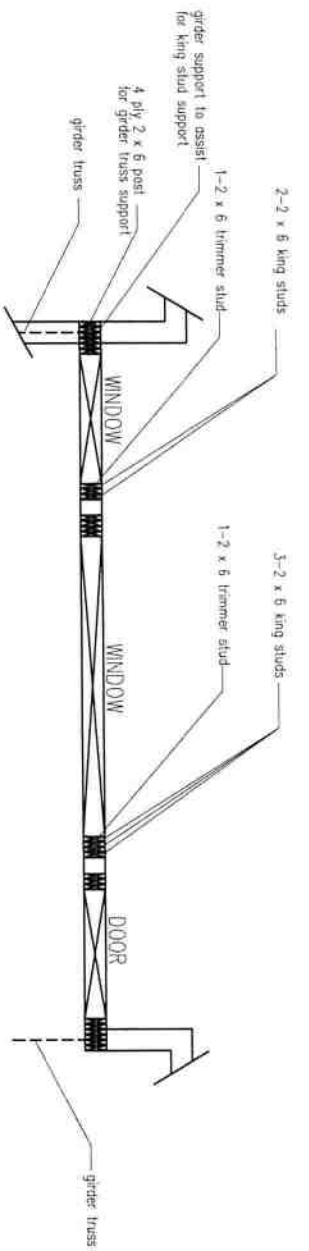


G. C. DESIGN
 4704-40 Ave. (in project centre, Wet. Coop)
 WETASKIWIN, ALBERTA
 T9A 2B8
 TEL: (780) 352-9775
 1-877-CAD PLAN (toll free)

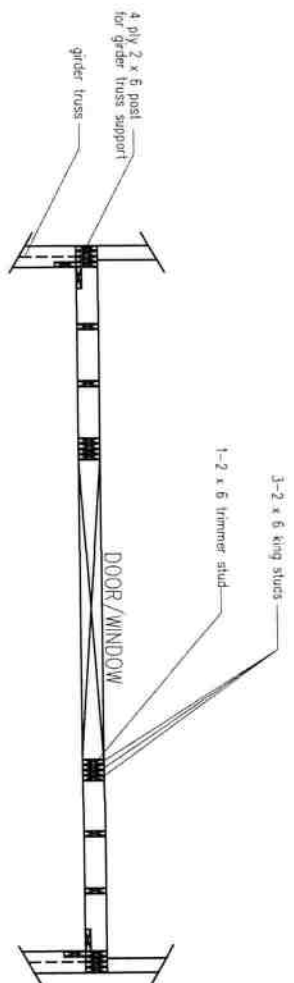
PROJECT **EXCLUSIVE HOMES**
 MUNICIPALITY BY OWNER/CONTRACTOR
 PROVINCE OF ALBERTA

DRAWING **FOUNDATION FLOOR PLAN**

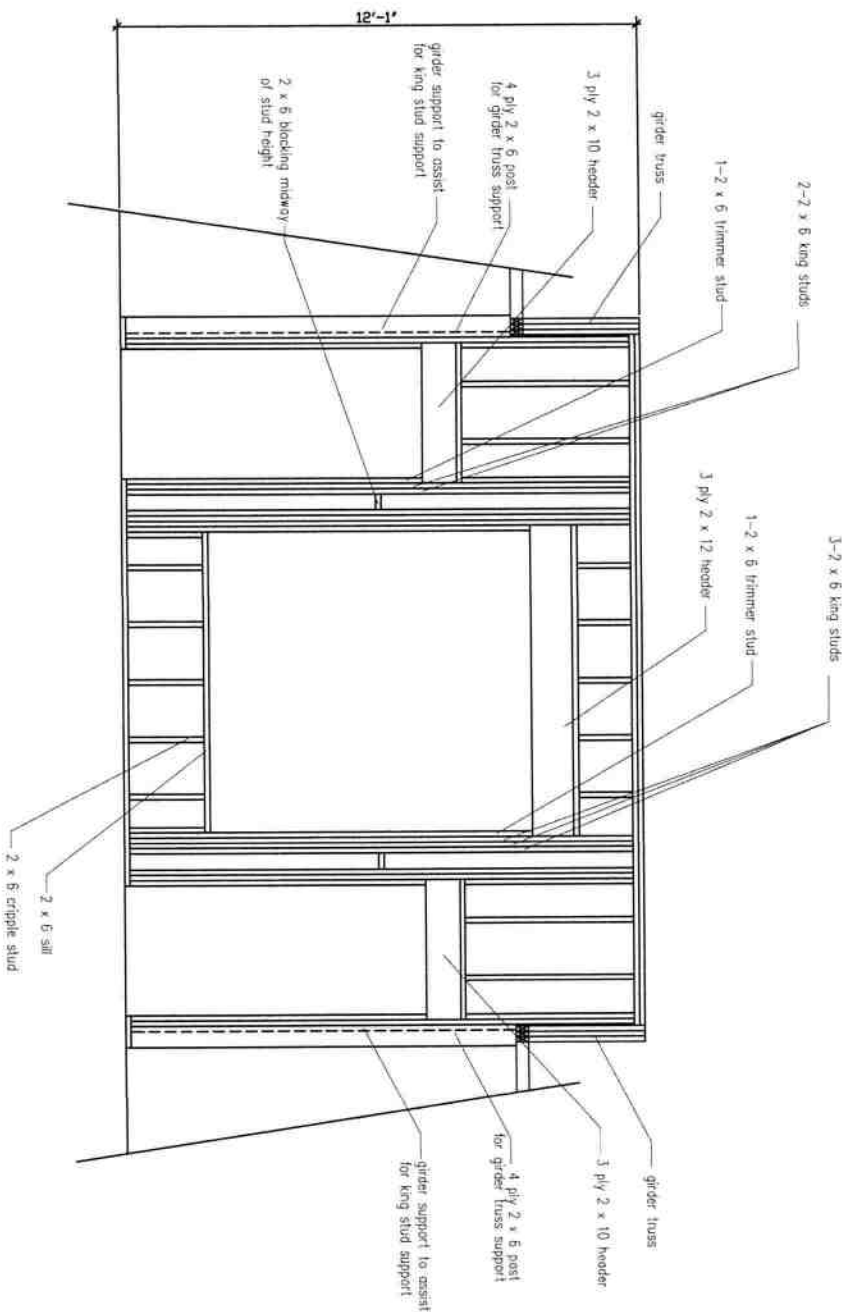
JOB NO.	
CHKD. BY	G.C.
DRN. BY	G.C.
DATE	APRIL 2022
SCALE	1/4" = 1'-0"
DWG. NO.	1 / 8



TALL WALL STUD PLAN
(REAR LIVING ROOM WALL)

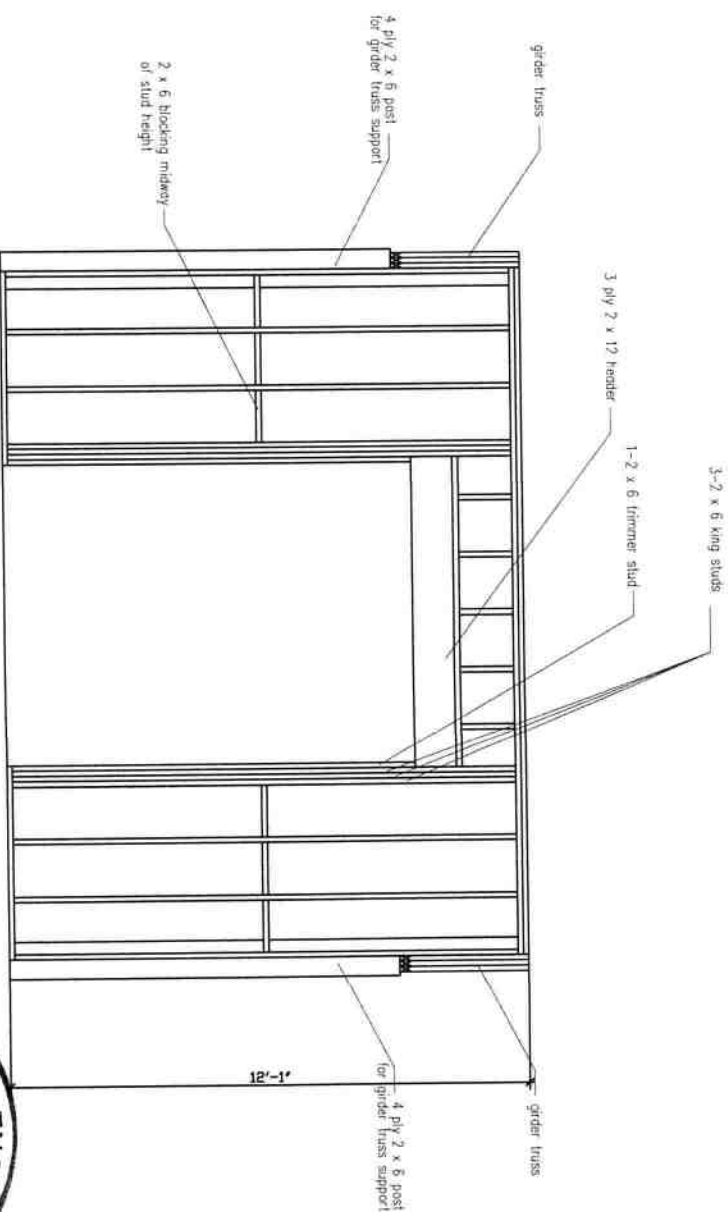


TALL WALL STUD PLAN
(FRONT ENTRY WALL)



TALL WALL ELEVATION
(REAR LIVING ROOM WALL)

SCALE: 1/2" = 1'-0"



TALL WALL ELEVATION
(FRONT ENTRY WALL)

SCALE: 1/2" = 1'-0"



April 14 / 2022

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PROJECT **EXCLUSIVE HOMES**
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PROVINCE OF ALBERTA

DRAWING

TALL WALL DETAILS

JOB NO.	
CHKD. BY	G.C.
DRN. BY	G.C.
DATE	APRIL 2022
SCALE	1/2" = 1'-0"
DWG. NO.	6 / 8